



CITY OF GLENDALE
 DEVELOPMENT SERVICES DEPARTMENT
 5754 W. GLENN DR.
 GLENDALE, AZ 85301
 623.930.2800
 www.GlendaleAZ.com

PERMIT/PLAN REVIEW APPLICATION

SINGLE FAMILY RESIDENTIAL

PROJECT NAME:		PROJECT ADDRESS (STREET, CITY, STATE, ZIP CODE):	
		PARCEL NUMBER:	ZONING DISTRICT:
PROJECT DESCRIPTION/SCOPE OF WORK:			
CONSTRUCTION VALUATION*:	CONSTRUCTION TYPE:	OCCUPANCY TYPE:	
SUBDIVISION:			
UTILITY COMPANY: <input type="checkbox"/> APS <input type="checkbox"/> SRP <input type="checkbox"/> SWG	CONSTRUCTION AREA (SF)**:		

APPLICANT NAME/COMPANY NAME/LEGAL AGENT (If Applicable):	
MAILING ADDRESS (STREET, CITY, STATE, ZIP CODE):	
PHONE NUMBER:	EMAIL ADDRESS:

PROPERTY OWNER NAME:	
MAILING ADDRESS (STREET, CITY, STATE, ZIP CODE):	
PHONE NUMBER:	EMAIL ADDRESS:

GENERAL CONTRACTOR:		
MAILING ADDRESS (STREET, SUITE, CITY, STATE, ZIP CODE):		
PHONE NUMBER:	EMAIL ADDRESS:	
AZ ROC NUMBER:	LICENSE CLASSIFICATION:	COG SALES TAX LICENSE No.:

I (the undersigned) understand and agree that the issuance of the permit for which I am applying does not relieve me of the responsibility that this work will be done in conformity with the laws of the City of Glendale, Maricopa County and the State of Arizona. I further agree that the City of Glendale Development Services Department has the authority to enforce adopted building and fire codes and regulations not indicated on the construction documents.		
SIGNATURE***:	DATE:	FEE:

- NOTES:
- * Construction Valuation shall include cost of material and labor for proposed work that is included in this application.
 - ** Provide area included for construction that is proposed in this application.
 - *** All applications will require a signature from the applicant prior to submittal acceptance (Digital Signature is acceptable)

STAFF USE ONLY	
COG PROJECT NUMBER:	COG PERMIT NUMBER:
PLAN REVIEW FEES:	PERMIT FEES:



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OWNER/BUILDER ADDENDUM FORM
 RESIDENTIAL PROJECTS ONLY

DATE:	COG PERMIT NUMBER:
PROJECT NAME:	PROJECT ADDRESS (STREET, CITY, STATE, ZIP CODE):

The undersigned applicant asserts that she or he is exempt from the original contractor licensing requirement of Arizona Revised Statutes Titel 32, Chapter 10, on the basis of:

- ARS 32-1121.A.5 The applicant owns the property and shall occupy the property, and does not intend the property to be for sale or rent, and shall have the work performed by the applicant alone, or by the applicant with employees of the applicant, and/or performed by duly licensed contractor(s) all of whom are identified below or on the attached.
- ARS 32-1121.A.6 The applicant owns the property and shall have the work performed only by duly licensed contractor(s) all of whom are identified below or on the attached.

CONTRACTOR/COMPANY NAME:	AZ ROC NUMBER:	LICENSE CLASSIFICATION:

- ARS 32-1121.A.7 The applicant is registered architect or engineer, or employee of registered architect or engineer engaged in professional practice, not as a contractor.

The undersigned swears and affirms that the information herein is true and accurate, and acknowledges that the filing of an application containing false or incorrect information with the intent to avoid licensing or tax requirements of the State of Arizona is "unsworn falsification", a criminal misdemeanor.

PRINTED NAME OF THE OWNER:	SIGNATURE OF THE OWNER:	DATE:
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CITY OF GLENDALE ADOPTED CODES (WITH AMENDMENTS):
 2018 IBC, 2018 IRC, 2018 IECC, 2018 IPC, 2018 IFGC,
 2017 NEC, AND 2018 IFC

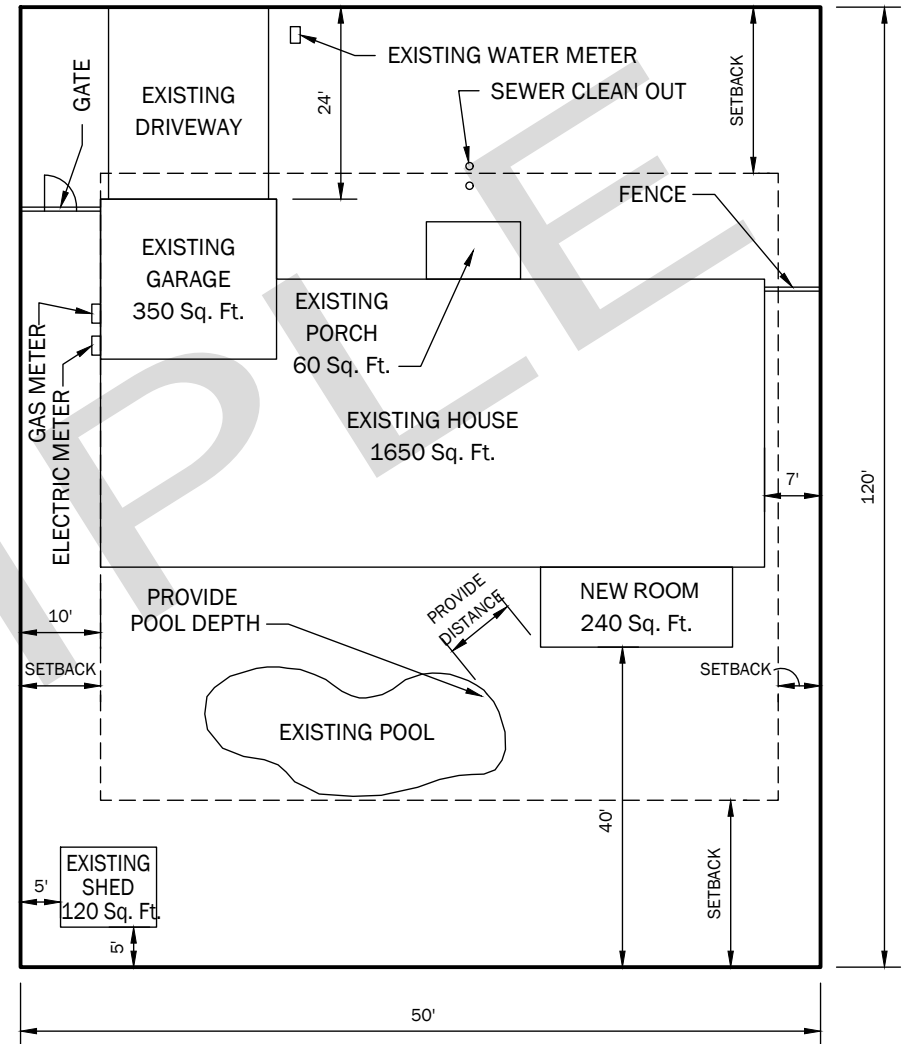
PROJECT NAME:	MARLEY RESIDENCE - ROOM ADDITION
PROJECT ADDRESS:	5555 W. GLENDALE AVE. GLENDALE, AZ 85301
PARCEL NUMBER:	123-45-678
ZONING DISTRICT:	R1-6

PROPERTY COVERAGE CALCULATIONS (Sq. Ft.)	
EXISTING HOUSE (1ST FLOOR):	1650
EXISTING GARAGE:	350
EXISTING SHED:	120
EXISTING FRONT PORCH:	60
NEW ROOM:	240
TOTAL AREA:	2420
LOT SIZE:	50' x 120' = 6000
TOTAL LOT COVERAGE:	2420/6000 = 0.40 OR 40%

* PROPERTY INFORMATION AVAILABLE ON THE MARICOPA COUNTY ASSESSOR'S OFFICE WEB PAGE

Provide all utility locations, water, sewer, electric and gas(if applicable).

W. GLENDALE AVE.



SHEET:
A1
 SAMPLE

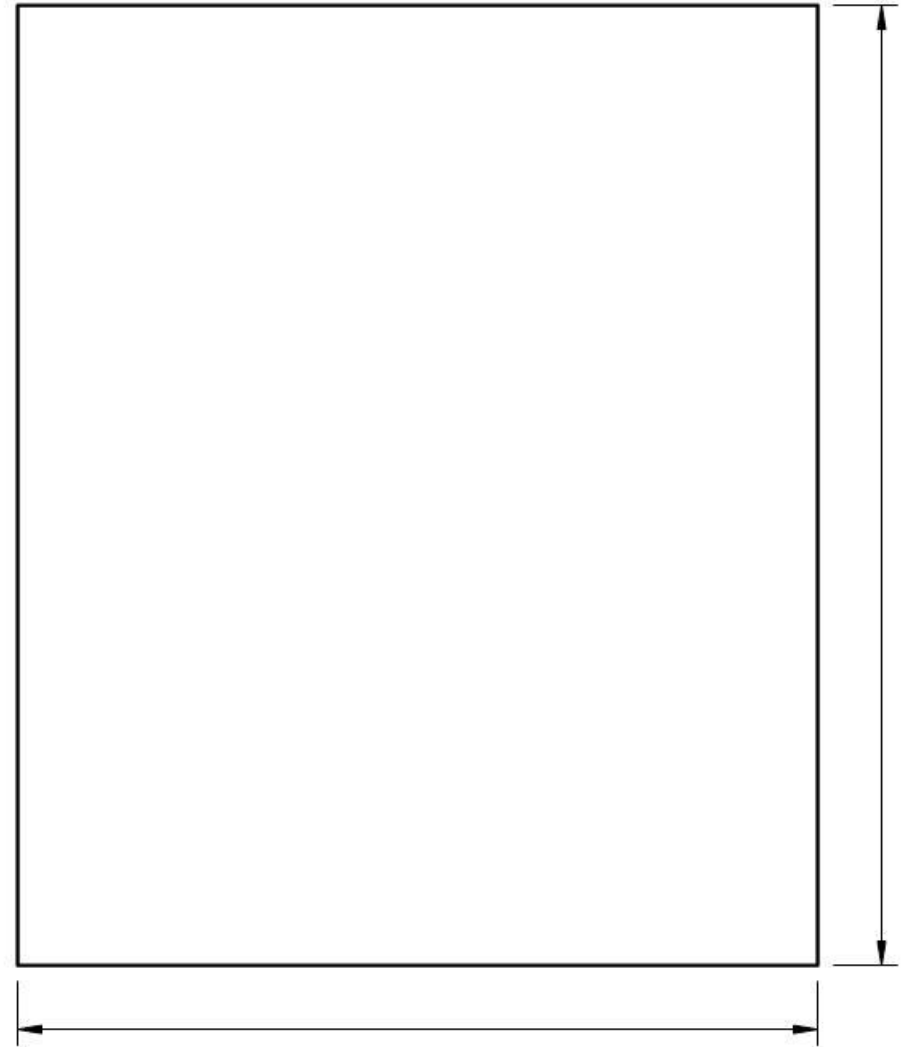
CITY OF GLENDALE ADOPTED CODES (WITH AMENDMENTS):
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 2017 NEC, AND 2018 IFC



PROJECT NAME:	
PROJECT ADDRESS:	
PARCEL NUMBER:	
ZONING DISTRICT:	

PROPERTY COVERAGE CALCULATIONS (Sq. Ft.)	
EXISTING HOUSE (1ST FLOOR):	
EXISTING GARAGE:	
EXISTING SHED:	
EXISTING FRONT PORCH:	
NEW PATIO:	
TOTAL AREA:	
LOT SIZE:	
TOTAL LOT COVERAGE:	

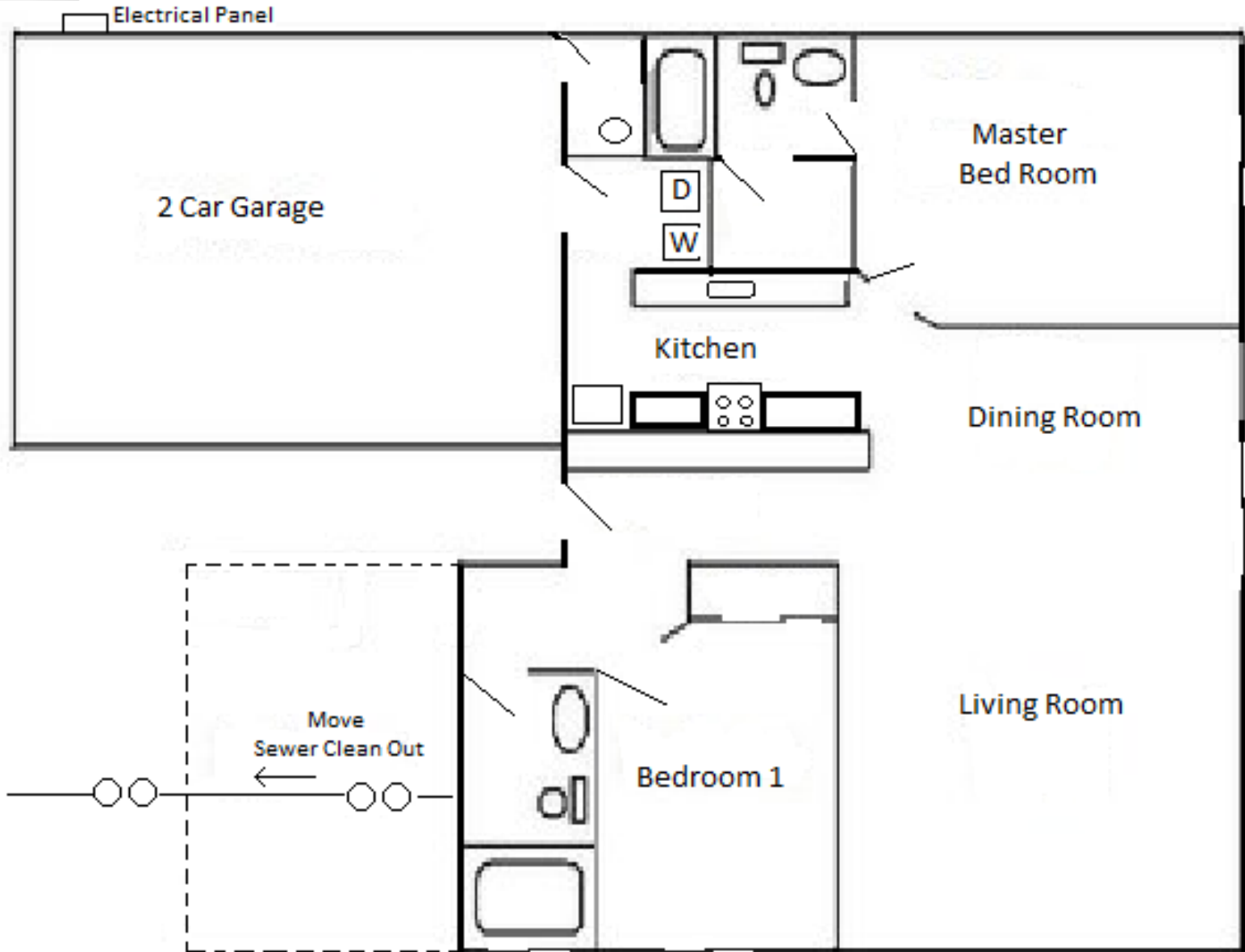
* PROPERTY INFORMATION AVAILABLE ON THE MARICOPA COUNTY ASSESSOR'S OFFICE WEB PAGE



SHEET:
A1

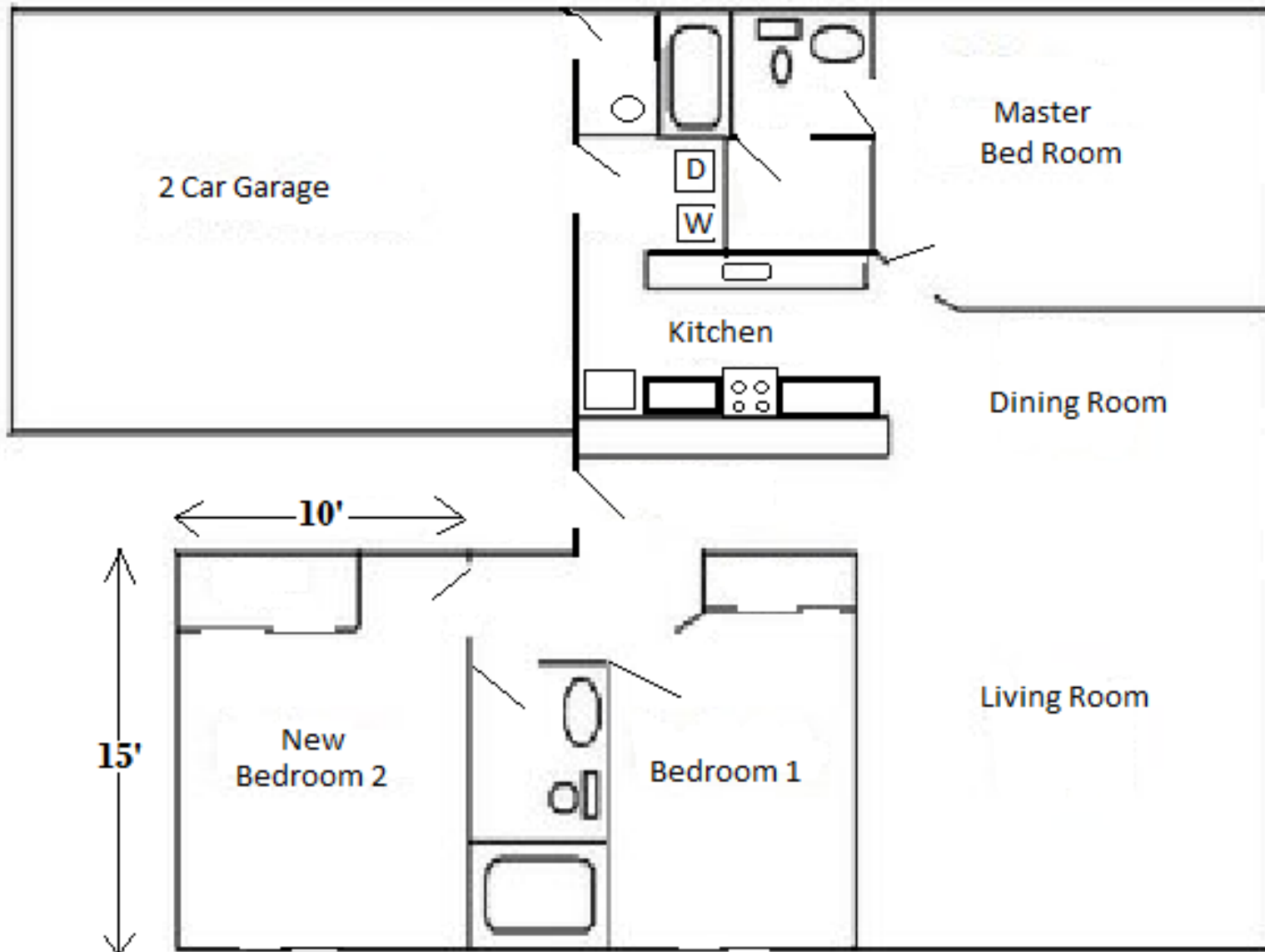


Original Floor Plan





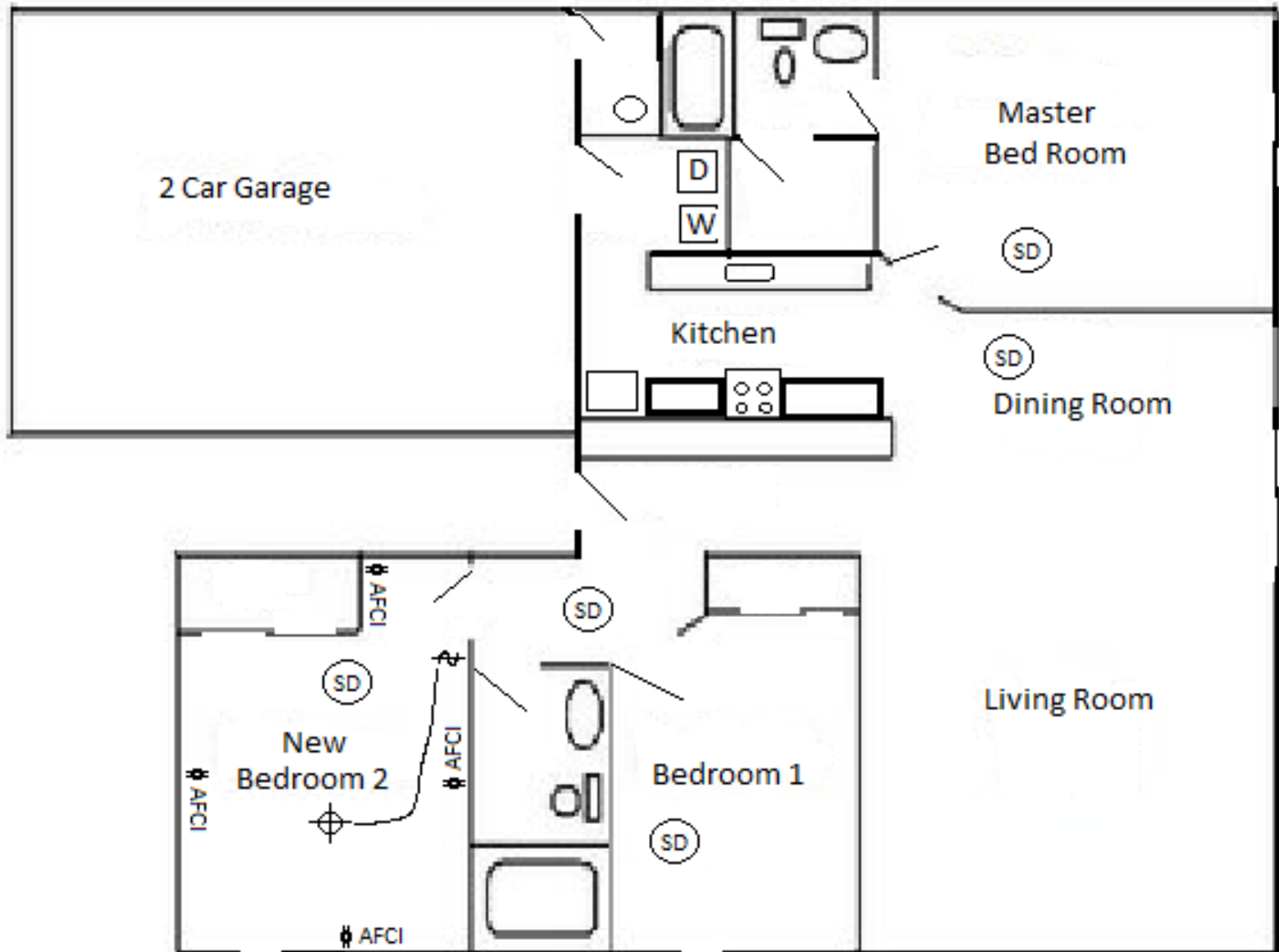
New Floor Plan



↖ 4'0" X 4'0" Window, Double 2x6 Header



Electrical - Mechanical - Plumbing Plan





Cross Section

Roof Covering [redacted]
 Underlayment [redacted]
 Over 1/2" CDX Plywood or 1/2" OSB.
 Roof Pitch (Rise over Run) [redacted] /12"

See Conventional
 Roof Framing Detail

See Roof to Wall
 Connection Detail

2x [redacted] Roof Rafter
 @ 16" or 24" OC.
 (Circle One)

Collar Tie 48" O.C.

2x4 @ 16" O.C.
 Weather Proofed
 with Black Paper

1/2" Drywall

2x [redacted] Ceiling Joist
 @ 16" or 24" OC
 (Circle One)

**If Ceiling Joists are 24" OC
 Then 1/2" Sag Resistant or 5/8"
 Drywall is Required on Ceiling

Minimum Insulation
 R-38 Ceiling
 R-13 Wall

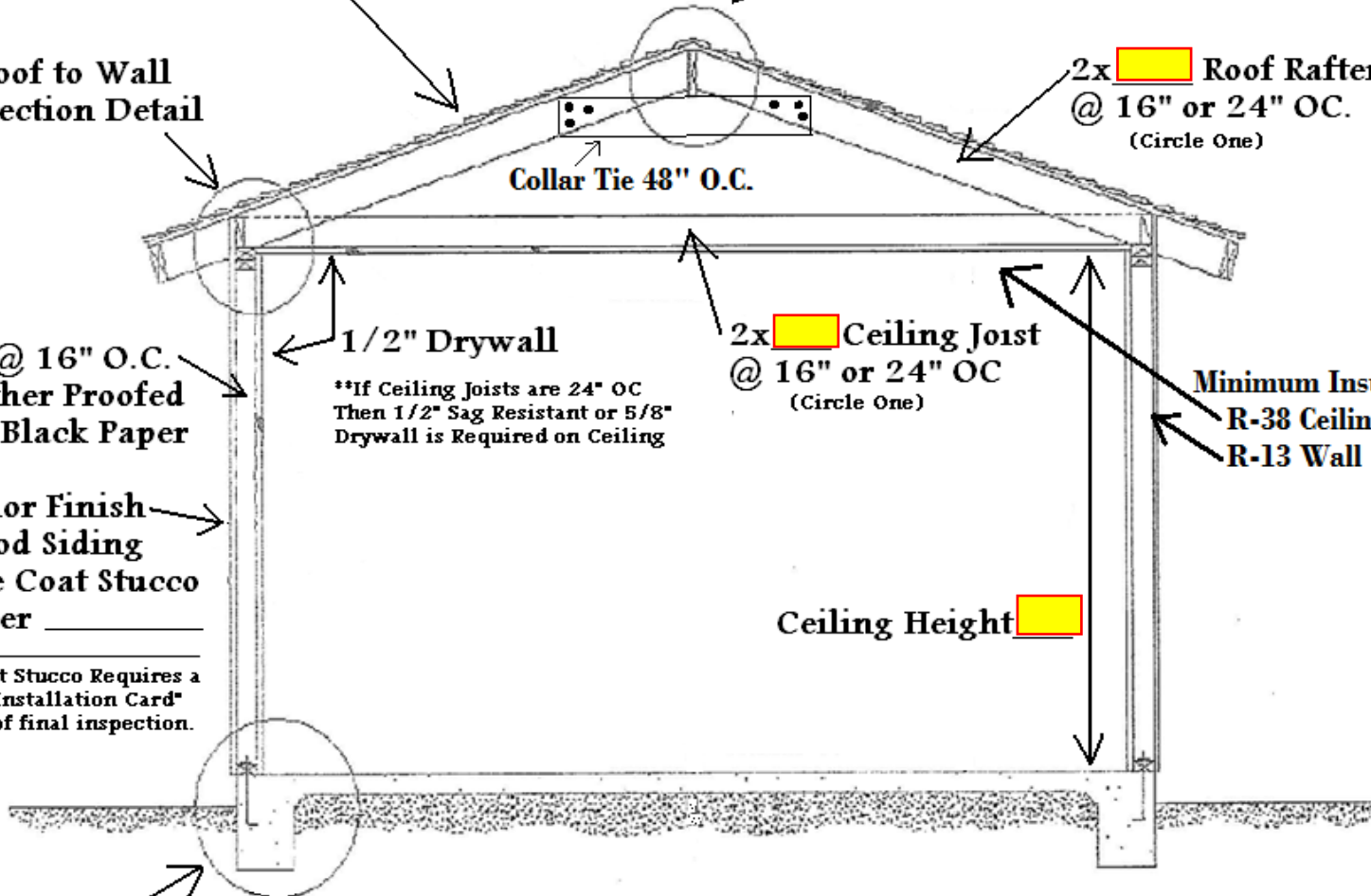
Exterior Finish

- [redacted] Wood Siding
- [redacted] One Coat Stucco
- [redacted] Other _____

One Coat Stucco Requires a
 stucco "Installation Card"
 at time of final inspection.

Ceiling Height [redacted]

See Footing Detail





Frequently used comments:

Plumbing:

E3901.2.1 Spacing. Receptacles shall be installed so that no point measured horizontally along the floor line of any wall space is more than 6 feet, from a receptacle outlet. NEC 210.52(A)

Provide all waste pipes, and drainage fixtures. Specify material. (IPC 707-710)

P2708.4 Provide thermostatic mixing valve set at 120° F max. (IPC 412.3)

P2906 Supply pipe size and material (IPC 604)

R702.3.7 Provide a water-resistant gypsum backing board.

R702.4.2 Provide fiber cement backer at ceramic tile.

IPC 405.3.1 Water closets, urinals, lavatories and bidets. A water closet, urinal, lavatory or bidet shall not be set closer than 15 inches from its center to any side wall, partition, vanity or other obstruction.

R303.3 Provide Exhaust fan in bathroom. (M1505)

Electrical:

Provide electrical panel schedules and load calculations.

R314 Provide smoke alarms (R314) in bedrooms, halls, and CO alarms in halls and in homes with attached garages and/or fuel fired appliances.
(R315) Provide Hard wired and interconnected with battery back-up OR wireless.

Provide GFCI [NEC 210.8(A)] receptacle within 3' of each bathroom lavatory [NEC 210.52(D)]

Mechanical:

R303 Provide Supply air to all habitable rooms.



Garage:

R302.5.1 Provide a Fire rated door to house, no doors or openings into sleeping rooms. Solid wood 1 3/8" thick or 20-minute with self-closing device.

E3901.9 Provide one outlet in each garage bay. NEC 210.52(G)

R302.4.2 Provide fire resistant rated boxes at fire membrane in garage.

R309.1 Provide Non-combustible floor sloped to drain to garage vehicular door.

Table R302.6 Provide fire separation from habitable rooms above the garage. Not less than 5/8-inch Type X gypsum board or equivalent. (2-story)

Table R302.6 Separation from the residence and attic: Not less than 1/2" gypsum board or equivalent applied to the garage side. (1-story)

Water Heater:

P2801.6 Provide drain pan at water heater. (IPC 504.7)

P2804.1 Provide Pressure-temperature relief line to outside (IPC 504.6)

P2801.7 Water heaters installed in garages. Water heaters having an ignition source shall be elevated such that the source of ignition is not less than 18 inches (457 mm) above the garage floor.

Misc:

R402.1.2 (Table N1102.2.1) Insulation and fenestration requirements by component. Provide R-38 insulation in the ceiling and R-13 in wood framed wall.

R806 Provide Attic vents with calcs 1/150 or 1/300 with exception for high and low vents.

Table R702.3.5 note "d" Provide interior finishes gypsum board, 1/2" sag-resistant ceiling board, or 5/8" gyp board.

R703.7.2.1 Provide Stucco system with weep screed.

R102.7.1 Provide footing distance from pool and the depth of the pool at that area.

R318 Provide Subterranean termite control method per R318.1

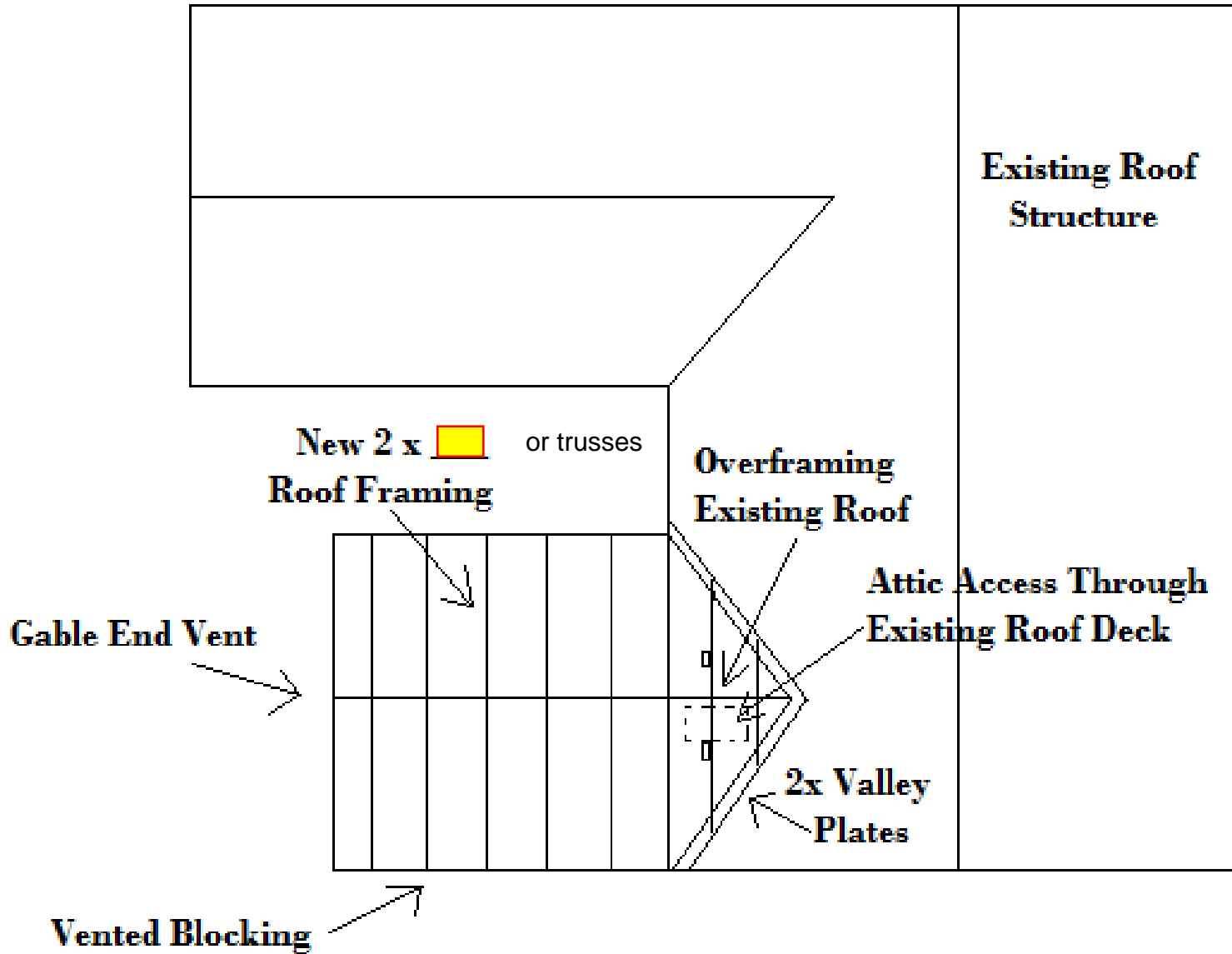
R807.1 Provide attic access location (M1305.1.3) opening min. 20" X 30"

R311.3.2 A door shall not swing over a lower floor or landing City of Glendale Amendment.

R311.3 Provide landings at exterior doors. 36" minimum in direction of travel. The slope shall not exceed 1/4" in vertical in 12" horizontal (2% percent)

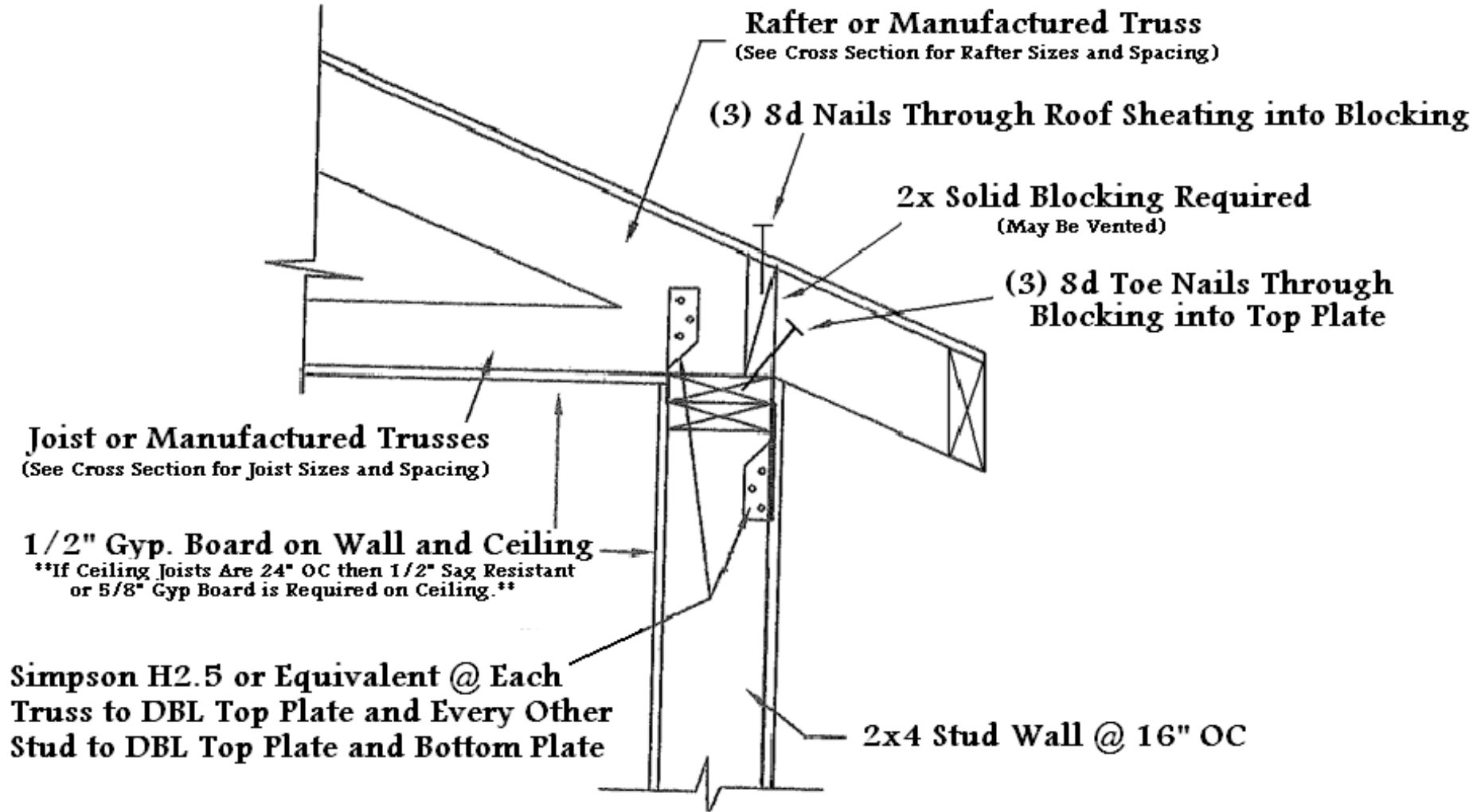


Roof Framing





Wall to Roof Attachment Detail





Minimum Continuous Footing Detail

2x4 Cont. Pressure Treated Plate With 10" X 1/2" Diameter Anchor Bolts (Embedded 7" Min. Into Footing @ 4' On Center) With Nut and 2" Washer. Min. 2 A.B. per Plate & 12" Maximum From Each End of the Plate.

48"x12" Bent Rebar @ 36" On Center, (48" Length Goes into Slab, 12" Leg Turns Down into Footing)

(2) #4 Continuous Horizontal Rebar, (One in the Top and One in the Bottom of the Footing.)

3" Minimum Rebar Clearance From Earth

12" Min. Footing Width

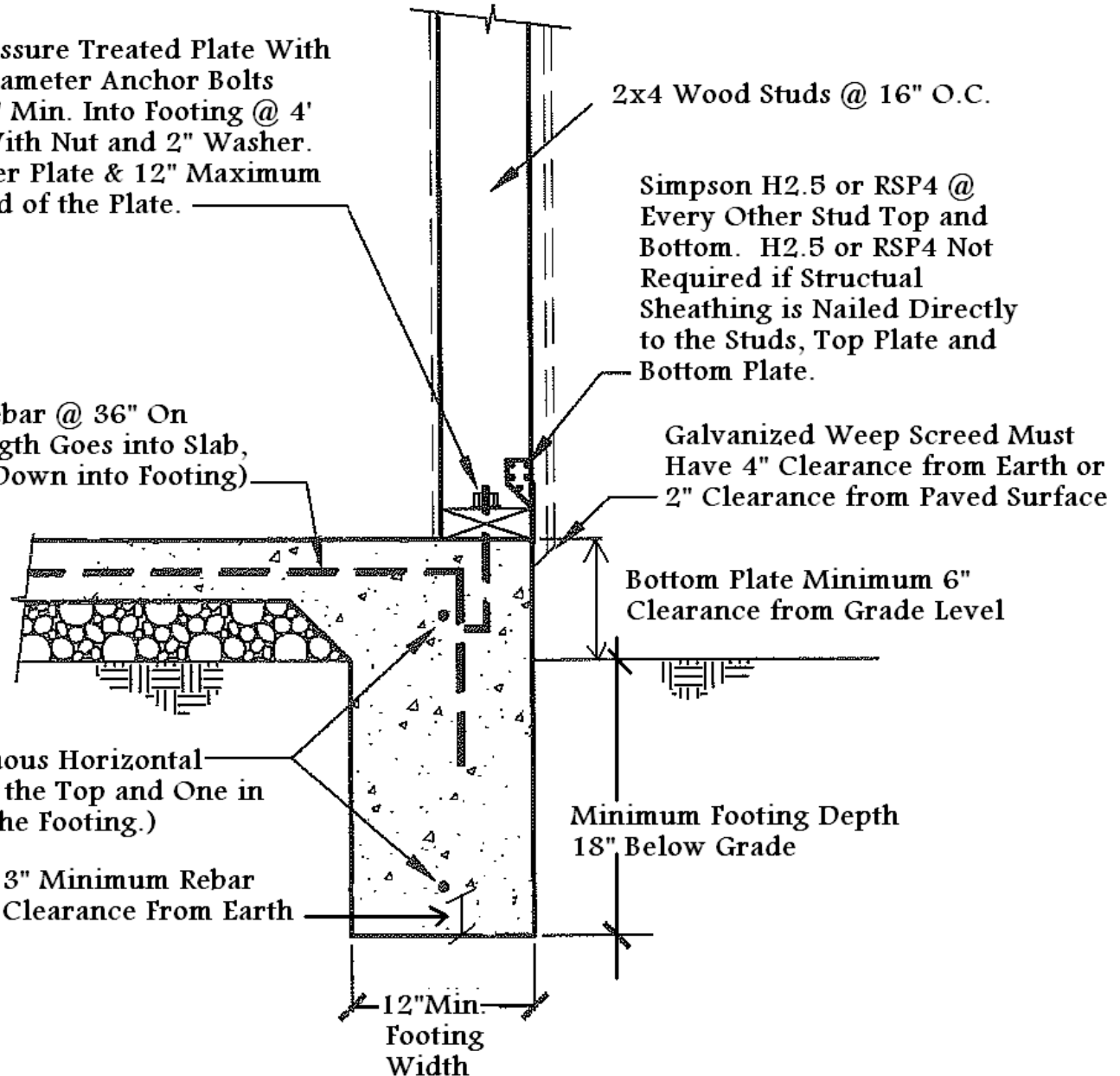
2x4 Wood Studs @ 16" O.C.

Simpson H2.5 or RSP4 @ Every Other Stud Top and Bottom. H2.5 or RSP4 Not Required if Structural Sheathing is Nailed Directly to the Studs, Top Plate and Bottom Plate.

Galvanized Weep Screed Must Have 4" Clearance from Earth or 2" Clearance from Paved Surface

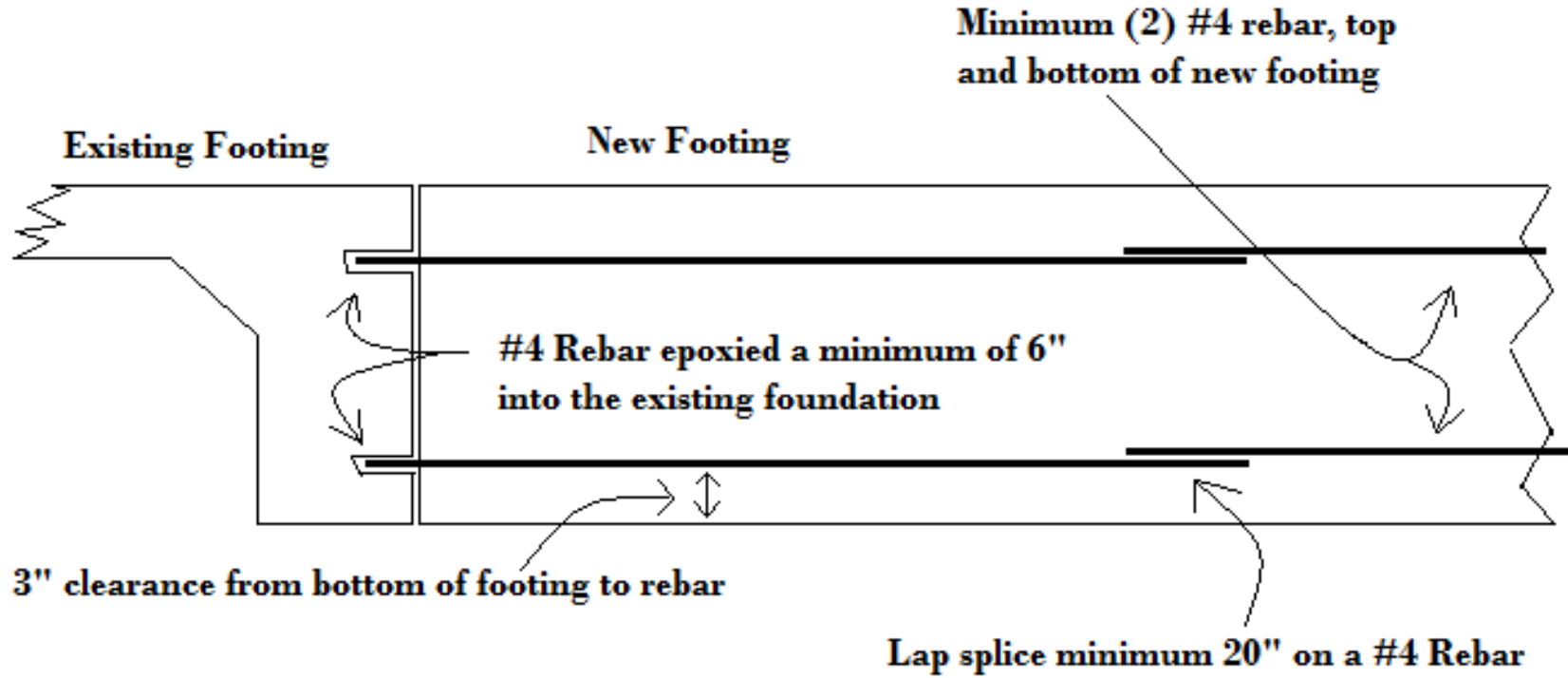
Bottom Plate Minimum 6" Clearance from Grade Level

Minimum Footing Depth 18" Below Grade





Footing Reinforcement Detail



RAFTER SCHEDULE				
RAFTER SPAN	RAFTER SPACING (CENTER TO CENTER)			
	12"	16"	19.2"	24"
8'-0"	2x4	2x4	2x4	2x4
9'-0"	2x4	2x6	2x6	2x6
10'-0"	2x6	2x6	2x6	2x6
11'-0"	2x6	2x6	2x6	2x8
12'-0"	2x6	2x6	2x8	2x8

BEAM SCHEDULE					
RAFTER SPAN	POST/COLUMN SPACING (CENTER TO CENTER)				
	8'-0"	9'-0"	10'-0"	11'-0"	12'-0"
8'-0"	4x6	4x6	4x8	4x8	4x8
9'-0"	4x6	4x6	4x8	4x8	4x8
10'-0"	4x6	4x6	4x8	4x8	4x10
11'-0"	4x6	4x8	4x8	4x10	4x10
12'-0"	4x8	4x8	4x10	4x10	4x10

ROOF SLOPES FOR ROOF COVERINGS (2018 IRC REFERENCES)			
TYPE OF ROOFING	SLOPE	TYPE OF ROOFING	SLOPE
ASPHALT SHINGLES (R905.2.2)	2:12	BUILT-UP ROOFING (R905.9.1)	0.25:12
CLAY AND CONCRETE TILE (R905.3)	2.5:12	MODIFIED BITUMEN (R905.11)	0.25:12
MINERAL-SURFACE ROLLED ROOFING (R905.5)	1:12	SPRAY POLYURETHANE FOAM (R905.14)	0.25:12
WOOD SHINGLES AND SHAKES (R905.7)	3:12	METAL ROOF SHINGLES (R905.4)	3:12

NOTES:

1. MINIMUM MEMBER SIZES SHOWN IN THESE SCHEDULES ARE FOR ROOF LOADS ONLY (NO WALKING DECK).
2. ALL WOOD MEMBERS SHALL BE GRADE MARKED HEM-FIR GRADE #2 OR BETTER.
3. THE SLOPES ABOVE ARE MINIMUM UNITS HORIZONTAL TO UNITS VERTICAL.
4. ROOF SHEATHING SHALL BE CONTINUOUS OVER 2 OR MORE RAFTERS, FACE GRAIN SHALL BE PERPENDICULAR TO SUPPORTS
5. FRAMING HARDWARE SHALL BE ICC APPROVED FOR THE INTENDED USE AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
6. CONCRETE SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
7. ALL WOOD IN CONTACT WITH CONCRETE/MASONRY SHALL BE PRESERVATIVE TREATED WOOD PER 2018 IRC, R317.1.2.
8. ALL PROJECTIONS (OVERHANGS) GREATER THAN 2'-0" BUT LESS THAN 5'-0" REQUIRE 1-HOUR FIRE PROTECTION ON UNDERSIDE OF ROOF RAFTERS (5/8" TYPE "X" GYPSUM BOARD MINIMUM).

